G.C.HOMES, INCORPORATED

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

PARCEL I

IIB

IVA

IVA

IIB

IIB

IIB

IIB

aii

IVA

IVA

SA I IVA

IVA IVA IIB

IIIB

IIIB

IIIB

IIB IVA IVA IIB IIB IVA IVA IIB IIB

IIB IVA IVA IIB IIB IVA IVA IIB IIB

SUMMERVILLE

PARCEL II

IIIB V V IIIB

GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE IVB Small Sideyard House

JAROSZ, ROSELLO & BALBOA

ARCHITECTURE & TOWN PLANNING

3326 MARY STREET SUITE 500 COCONUT GROVE, FLORIDA 33133 TELEPHONE: 305.446.0888 FACSMILE: 305.447.1177 MAIL @ JRBARCHITECTURE.COM

BUILDING USE

- 1. USES OF THE BUILDINGS AS SHOWN HERE ARE RESIDENTIAL OCCUPANCY.
- 2. OTHER FOLLOWING USES ARE ADDITIONALLY PERMITTED FOR OUT BUILDINGS/CARRIAGE HOUSE SUCH AS WORKSHOP, GUEST COTTAGE, ARTIST STUDIO SAUNA, POOL HOUSE EQUIPMENT ENCLOSURE, GAZEBO, CONSERVATORY.

BUILDING PLACEMENT

1. BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN

PARKING

- 1. PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS
- 2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED **ENCROACHMENT**

- 1. THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
- 2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

- 1. HEIGHTS SHALL BE MEASURED RELATIVE TO THE FRONTING STREÆT ELEVATION AND A SPECIFIED POINT ON THE BUILDING.
- 2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

LEGEND

VISIBILTY TRIANGLE



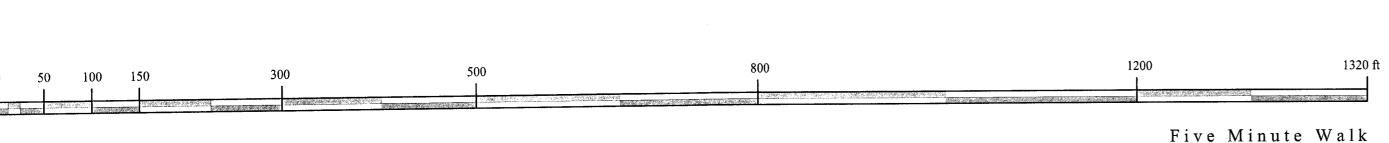
ALLOWABLE ENCROACHMENT

LOCATION

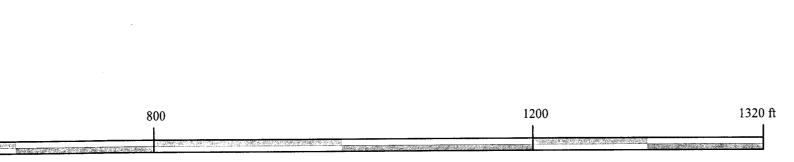


HOUSE TYPE LOCATION



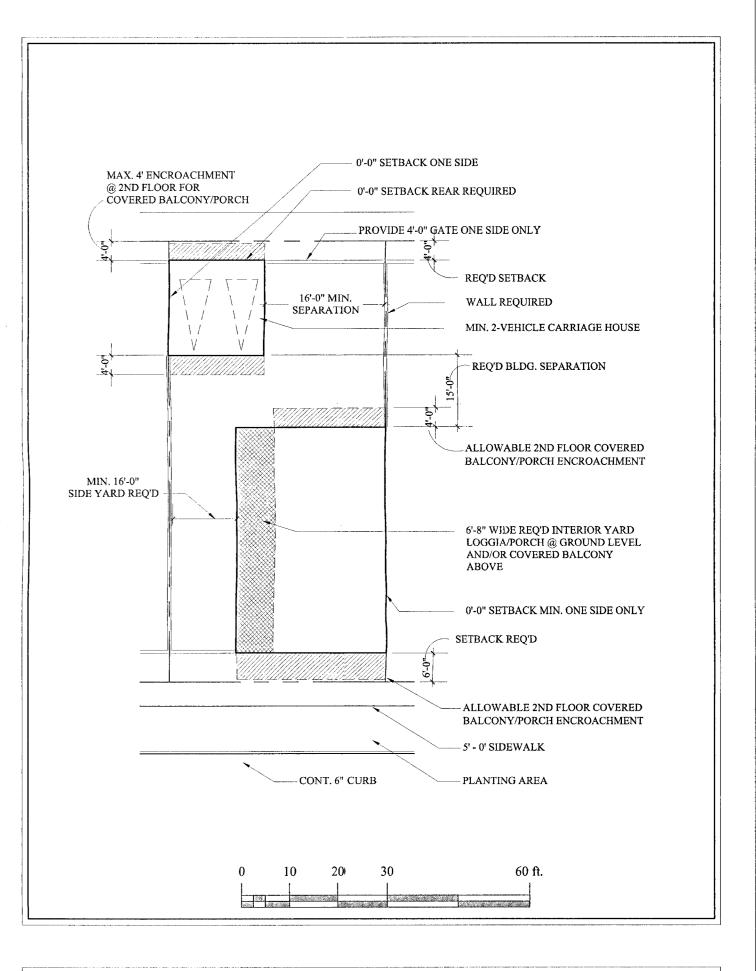


JULY 15, 2002 Lic. # AR0008223

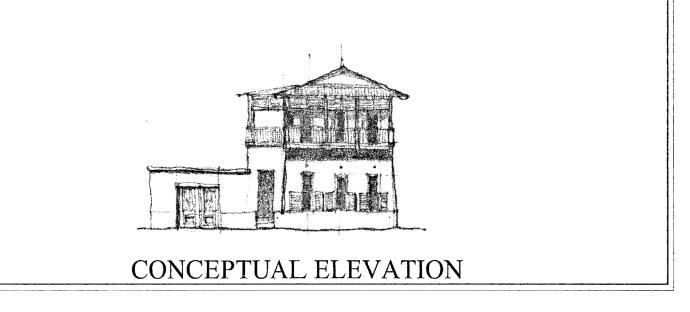


VIA VIB VIB ______ VIA VIA CO | VIB VIA VIA VIB VIA VIB VIB VIA 'VIA VIB VIA IIA | IIA | IIIA | IIIA | IIIA | ıı VIA VIB 6 VIA VIB VIA VIA VIA VIA VIB VIB PARCEL III VIA VIB VIB VIA VIA VIB VIA IVA IVA IVA VIB VIB VIA QQ VIA VIA 66 GIVA VIA IIIA IIIA IIIA IIB IIB IIB IIB IVA VIB VIA VIB IVA IIIA IIIA IIIA VIB VIA VIA VIA VIA VIB IIB VIA VIB VIA IVA VIA VIB VIB VIB ______| FUTURE FIRE STATION FUTURE MIXED USE DISTRICT BUILDING

TYPE IVB SMALL SIDEYARD HOUSE Architecture Style: Charleston, South Carolina Style Archetype Characteristics and Development Parameters: Two (2) Stories, required Second Story Porch or Covered Sleeping Balcony at Street Frontage required Covered Sleeping Balcony at Carriage Second Story Required Detached Carriage House Required: Two (2) Stories Maximum Loggia/Porch Required at Interior Sideyard Front Stoop Required: Min. Stoop Height = 28" Maximum Height to Roof Eave at Principle Structure = 26'-0" to 30'-0" Above First Finished Floor Minimum -Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade Perimeter Walls Required: Wall Height 3'-0" Min. to 6'-0" Max. Carriage Lane Required at Rear Property Line



Proposed Unit Maximum Interior Gross Square Footage: 2,665 sq.ft Minimum Unit Private Open Space Provided: 1,725 sq. ft. Maximum Lot Coverage: Minimum Lot Square Footage: 4,050 sq.ft. Minimum Street Frontage Required: 65% Proposed Number of Units: 22 Units



SHEET 16 OF 21

G.C.HOMES, INCORPORATED

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

PARCEL I

IVA IVA IIB

SUMMERVILLE

VIA

VIB

VIB

VIB

VIA

VIB

PARCEL II

GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE V Small House

VIA

VIB

VIA

VIA

VIB

VIA

IIA | IIA | IIIA | IIIA | IIIA

VIA CO

1/2 R.O.W. (25'-0")

VIB 6

VIB

VIB

VIB

VIB

NIB VIB

VIB

VIA

VIA

VIB

VIA

IVA IVA IVA

I IVB !! IIA !

IIIA | IIIA | IIIA |

IIIA IIIA IIIA

28

IVB! IIA !

IVB | IIA |

IVB ! IIA

VIB

VIA

VIB

FUTURE MIXED USE DISTRICT

VIA

JAROSZ, ROSELLO & BALBOA

ARCHITECTURE & TOWN PLANNING

3326 MARY STREET SUITE 500 COCONUT GROVE, FLORIDA 33133 TELEPHONE: 305.446.0888 FACSMILE: 305.447.1177 MAIL@ JRBARCHITECTURE.COM



- 1. USES OF THE BUILDINGS AS SHOWN HERE ARE RESIDENTIAL OCCUPANCY.
- 2. OTHER FOLLOWING USES ARE
 ADDITIONALLY PERMITTED FOR
 OUT BUILDINGS/CARRIAGE
 HOUSE SUCH AS WORKSHOP,
 GUEST COTTAGE, ARTIST STUDIO
 SAUNA, POOL HOUSE EQUIPMENT
 ENCLOSURE, GAZEBO, CONSERVATORY.

BUILDING PLACEMENT

1. BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN HERE.

PARKING

- 1. PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS SHOWN.
- 2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED ENCROACHMENT

- 1. THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
- 2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

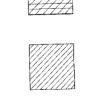
- 1. HEIGHTS SHALL BE MEASURED RELATIVE TO THE FRONTING STREET ELEVATION AND A SPECIFIED POINT ON THE BUILDING.
- 2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

LEGEND

ALLOWABLE

ENCROACHMENT

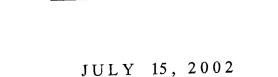
VISIBILTY TRIANGLE



REQ'D CHARACTERISTIC LOCATION

HOUSE TYPE LOCATION





Lic. # AR0008223

AND THE STATE OF T

IIB | IVA | IVA | IIB | IIB | IVA | IVA | IIB | IIB

VIB VIA VIA VIA VIA VIB VIB VIA VIB VIB VIA VIA VIB VIA VIB VIA IIA V IVB I IVB V VIA VIA. IIA V IVB IVB VIA VIA IIA V IVB IVB V VIB IIA V IVB I IVB V VIA VIA IIA V IVB IVB VIB VIA IIA V IVB IVB VIB

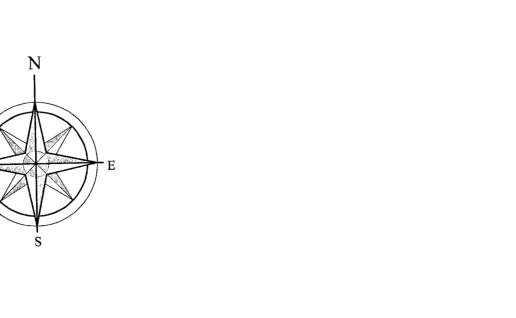
VIA

VIB

VIB

IIA V IVB IVB

_____1/2 R.O.W. (25'-0")___



Five Minute Walk

PARCEL III A WIVA IIBIIBIIB IIBIVA IVA IIB IIB IVA IVA

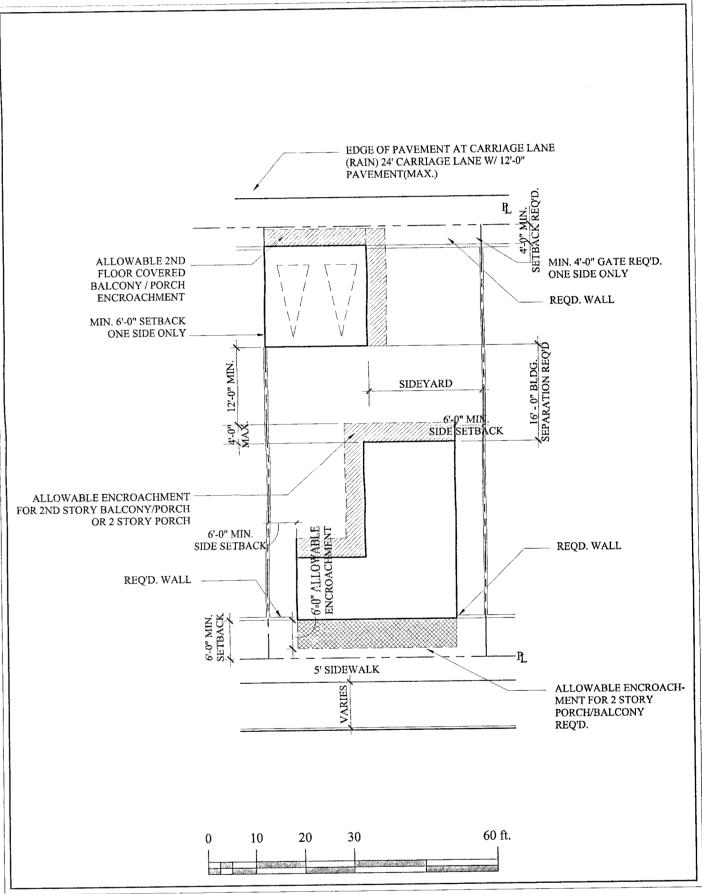
IVA

FUTURE FIRE STATION

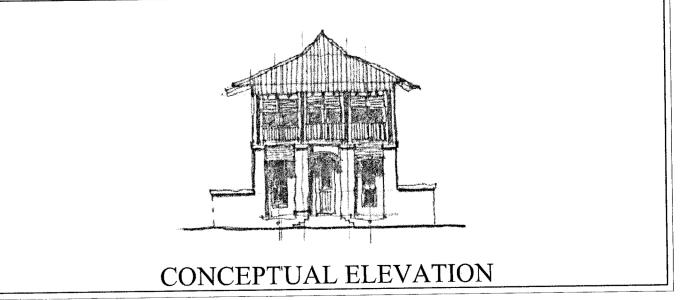
BUILDING

TYPE V
SMALL HOUSE

Architecture Style: West Indies Style
Archetype Characteristics and Development Parameters:
Two (2) Stories, required
Second Story Porch or Covered Sleeping Balcony at street frontage required
Covered Sleeping Balcony at Carriage Second Story required
Detached Carriage House Required: Two (2) Stories Maximum
Front Stoop Required: Min. Stoop Height = 28"
Maximum Height to Roof Eave at Principle Structure = 26'-0" to 30'-0" Above First Finished Floor
Minimum -Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade
Perimeter Walls Required: Wall Height 3'-0" Min. to 5'-0" Max.
Carriage Lane Required at Rear Property Line



90' - 92' Lot Depth 70' - 76' Lot Depth Proposed Unit Max. Interior Gross Square Footage: 2,022 sq.ft | Proposed Unit Max. Interior Gross Sq.Ftge.: 2,330 sq.ft 2,750 sq.ft. | Minimum Unit Private Open Space Provided: 2,912 sq.ft. Minimum Unit Private Open Space Provided: 1,236 sq. ft. Maximum Lot Coverage: 2,120 sq. ft. 3,150 sq.ft. | Minimum Lot Square Footage: 4,140 sq.ft. Minimum Lot Square Footage: 70% Minimum Street Frontage Required: Minimum Street Frontage Required: 16 Units | Proposed Number of Units: 12 Units Proposed Number of Units:



SHEET 17 OF 21

G.C. HOMES, INCORPORATED

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

PARCEL I

._____

IVA

IVA

IIB

IIB

IIB

IIB

IIB

IVA

IVA

IIB

IVA IVA IIB

34 IVA IVA IIB

PARCEL II

VIB

VIB

VIB

VIA

D G

IIA IVB IVB IIA

IIIB V V IIIB

IIIB V V IIIB

IIA IVB IVB IIA

Five Minute Walk

38

IIB | IVA | IVA | IIB | IIB | IVA | IVA | IIB |

IIIB

IIIB

IIB IVA IVA IIB IIB IVA IVA IIB IIB

GOULDS, MIAMI - DADE COUNTY, FLORIDA

SUMMERVILLE

TYPE VIA Small Attached House

JAROSZ, ROSELLO & BALBOA

ARCHITECTURE & TOWN PLANNING

3326 MARY STREET SUITE 500 COCONUT GROVE, FLORIDA 33133 TELEPHONE: 305.446.0888 FACSMILE: 305.447.1177 MAIL@ JRBARCHITECTURE.COM

BUILDING USE

- 1. USES OF THE BUILDINGS AS SHOWN HERE ARE RESIDENTIAL OCCUPANCY.
- 2. OTHER FOLLOWING USES ARE ADDITIONALLY PERMITTED FOR OUT BUILDINGS/CARRIAGE HOUSE SUCH AS WORKSHOP, GUEST COTTAGE, ARTIST STUDIO SAUNA, POOL HOUSE EQUIPMENT ENCLOSURE, GAZEBO, CONSERVATORY.

BUILDING PLACEMENT

1. BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN HERE.

PARKING

- 1. PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS SHOWN.
- 2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED ENCROACHMENT

- 1. THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
- 2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

- 1. HEIGHTS SHALL BE MEASURED RELATIVE TO THE FRONTING STREET ELEVATION AND A SPECIFIED POINT ON THE BUILDING.
- 2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

LEGEND

VISIBILTY TRIANGLE

LOCATION



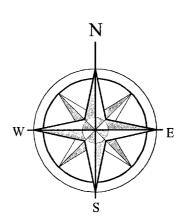
ALLOWABLE ENCROACHMENT



HOUSE TYPE LOCATION

REQ'D CHARACTERISTIC





IIIB

IIIB

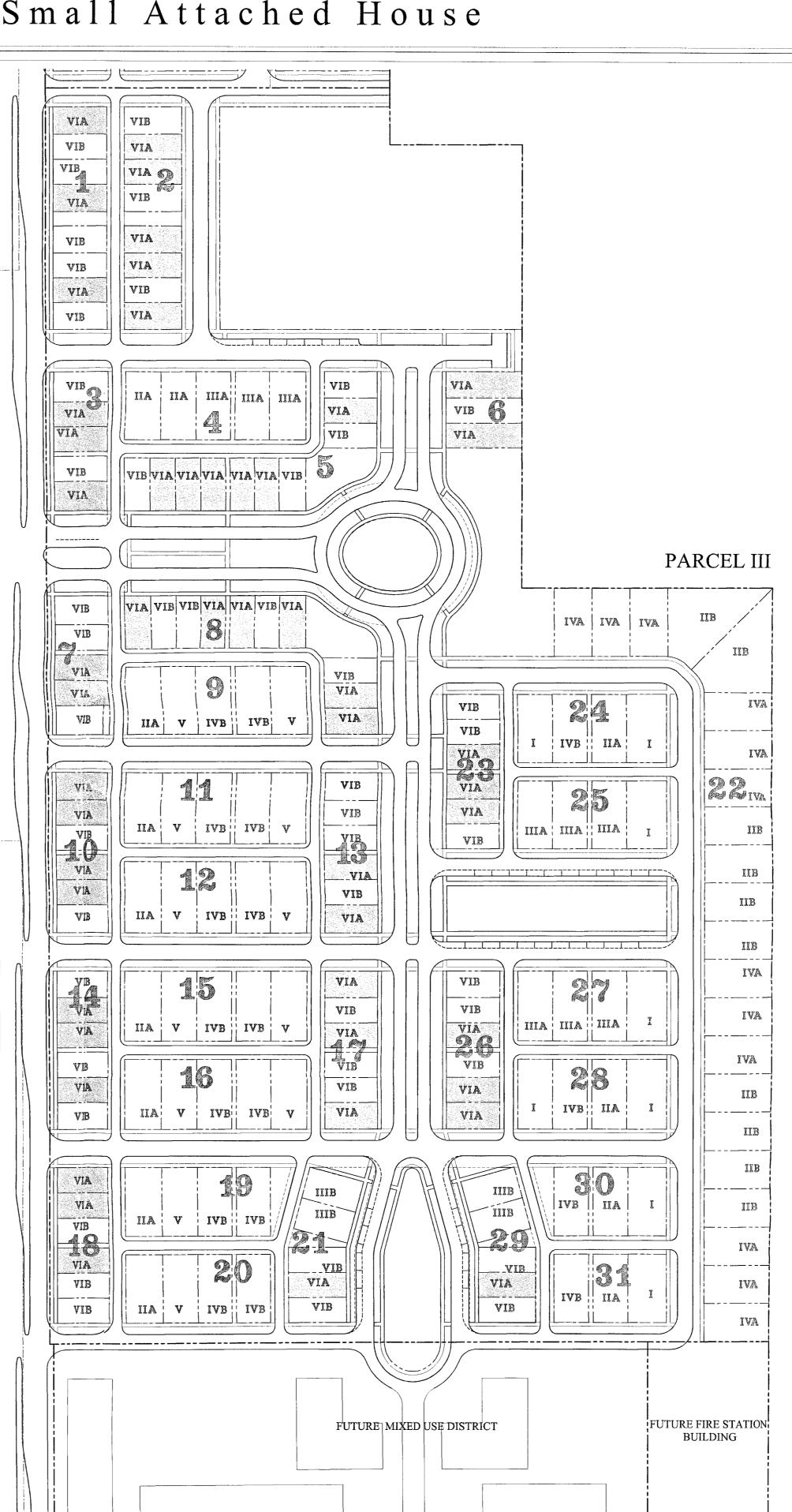
IIIB

1320 ft

JULY 15, 2002

Lic. # AR0008223

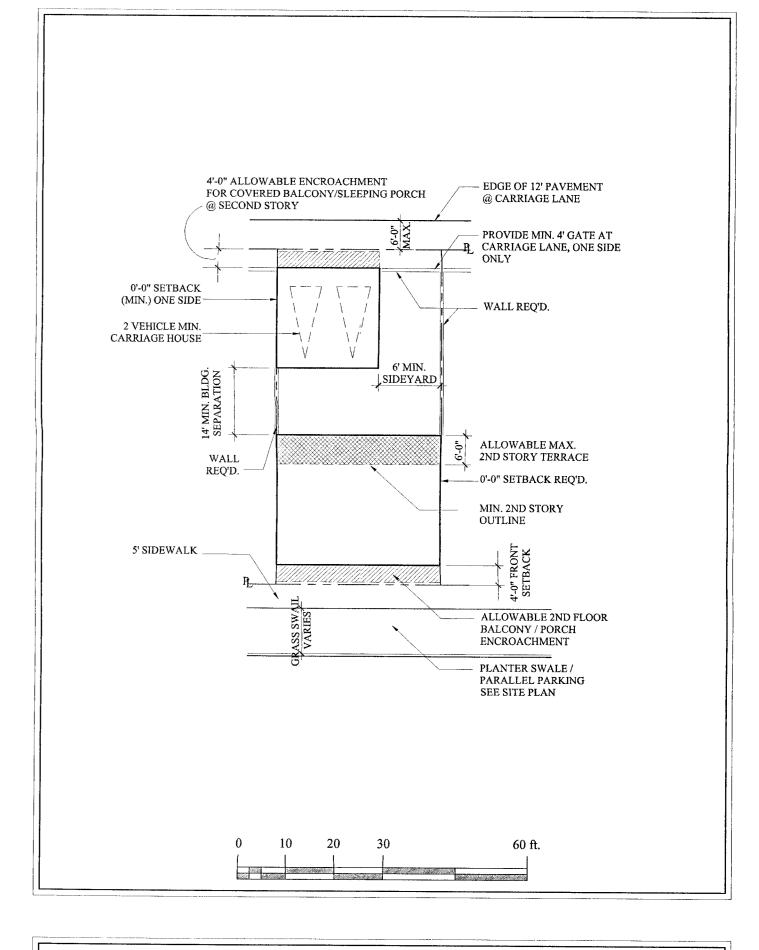
50 100 150



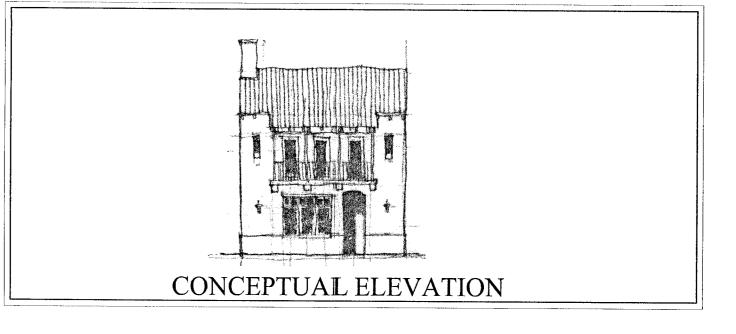
TYPE VIA SMALL ATTACHED HOUSE Architecture Style: French Quarter Style

Archetype Characteristics and Development Parameters:

Two (2) Stories, required Second Story Porch or Covered Sleeping Balcony at street frontage required Covered Sleeping Balcony at Carriage Second Story required Detached Carriage House Required: Two (2) Stories Maximum Front Stoop Required: Min. Stoop Height = 28" Maximum Height to Roof Eave at Principle Structure = 24'-0" to 32'-0" Above First Finished Floor Minimum -Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade Perimeter Walls Required: Wall Height 4'-0" Min. to 6'-0" Max. Carriage Lane Required at Rear Property Line



Proposed Unit Maximum Interior Gross Square Footage: 2,520 sq.ft Minimum Unit Private Open Space Provided: Maximum Lot Coverage: 1,476 sq. ft. Minimum Lot Square Footage: 2,310 sq.ft. Minimum Street Frontage Required: 100% Proposed Number of Units: 54 Units



SHEET 18 OF 21

G.C. HOMES, INCORPORATED

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

PARCEL I

. ___ - - _ _ - - - -

SUMMERVILLE

GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE VIB Large Attached House

PARCEL II

JAROSZ, ROSELLO & BALBOA

ARCHITECTURE & TOWN PLANNING

3326 MARY STREET SUITE 500 COCONUT GROVE, FLORIDA 33133 TELEPHONE: 305.446.0888 FACSMILE: 305.447.1177 MAIL@ JRBARCHITECTURE.COM

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BUILDING PLACEMENT

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PARKING

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- 2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED

ENCROACHMENT

- 1. THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE
- 2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

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- 2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

LEGEND

VISIBILTY TRIANGLE

LOCATION



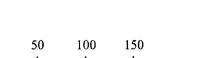
ALLOWABLE ENCROACHMENT



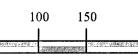
HOUSE TYPE LOCATION



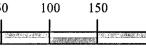




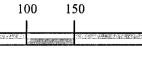


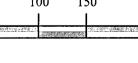








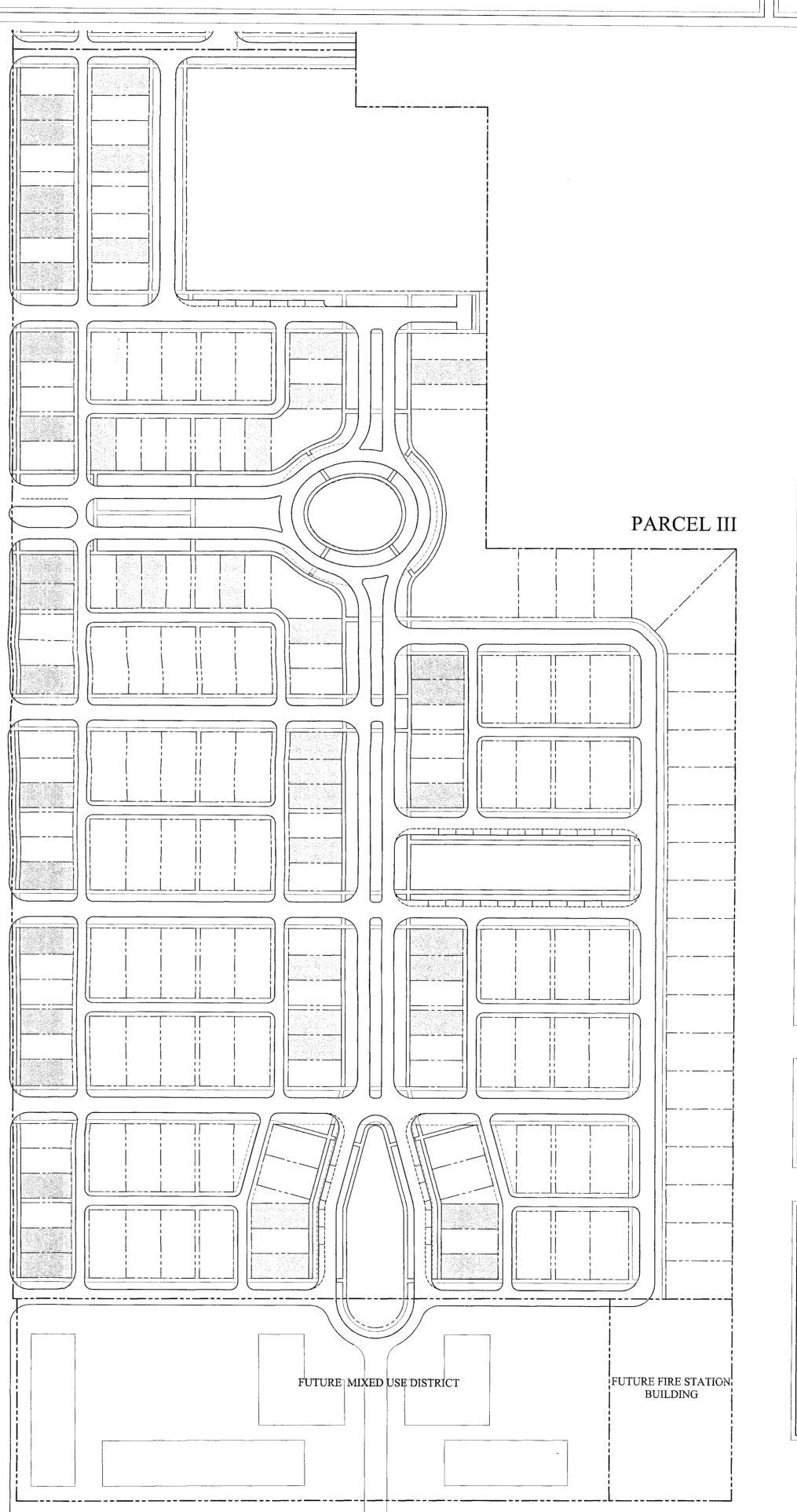






JULY 15, 2002 Lic. # AR0008223

Five Minute Walk



TYPE VIB LARGE ATTACHED HOUSE

Architecture Style: French Quarter Style

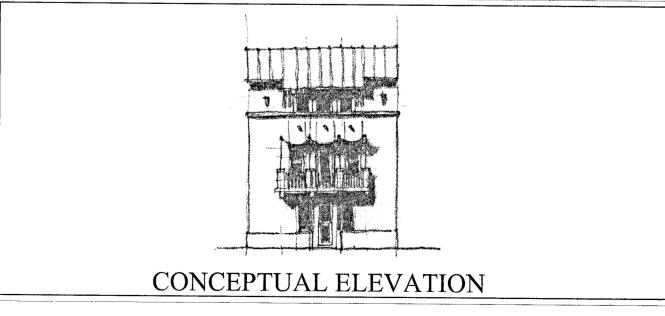
Archetype Characteristics and Development Parameters: Three (3) Stories, required

Second or Third Floor Sleeping Porch at Street Frontage Required Covered Sleeping Balcony at Carriage Second Story Required Detached Carriage House Required: Two (2) Stories Maximum Front Stoop Required: Min. Stoop Height = 28"

Maximum Height to Roof Eave at Principle Structure = 36'-0" to 40'-0" Above First Finished Floor Minimum -Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade Perimeter Walls Required: Wall Height 4'-0" Min. to 6'-0" Max. Carriage Lane Required at Rear Property Line

MAX. ALLOWABLE 2ND STORY BALCONY/PORCH ENCROACHMENT - EDGE OF PAVEMENT – PROVIDE MIN. 4' GATE AT CARRIAGE LANE, ONE SIDE SETBACK TO 0'-0" SETBACK WALL REQ'D. MIN. 2 VEHICLE CARRIAGE HOUSE -FROM FURTHEST ELEMENT 0'-0" SETBACK - MAX. REQ'D. ROOF @ PRINCIPAL STRUCTURE -TERRACE @ 3RD AREA @ 3RD STORY NOT TO EXCEED 75% OF STORY BELOW -FRONT SETBACK 5'-0" SIDEWALK PLANTING AREA/ PARALLEL PARKING (8' X 23') SEE SITE PLAN. 6" CONT. CONC. CURB

Proposed Unit Maximum Interior Gross Square Footage: 2,250 sq.ft Minimum Unit Private Open Space Provided: Maximum Lot Coverage: 1,476 sq. ft. Minimum Lot Square Footage: 2,310 sq.ft. Minimum Street Frontage Required: 100% Proposed Number of Units: 53 Units



SHEET 19 OF 21

G.C.HOMES, INCORPORATED

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE

GOULDS, MIAMI - DADE COUNTY, FLORIDA

STREET TYPES AND STREET SECTIONS

JAROSZ, ROSELLO & BALBOA

ARCHITECTURE & TOWN PLANNING

3326 MARY STREET SUITE 500 COCONUT GROVE, FLORIDA 33133
TELEPHONE: 305.446.0888 FACSMILE: 305.447.1177 MAIL@ JRBARCHITECTURE.COM

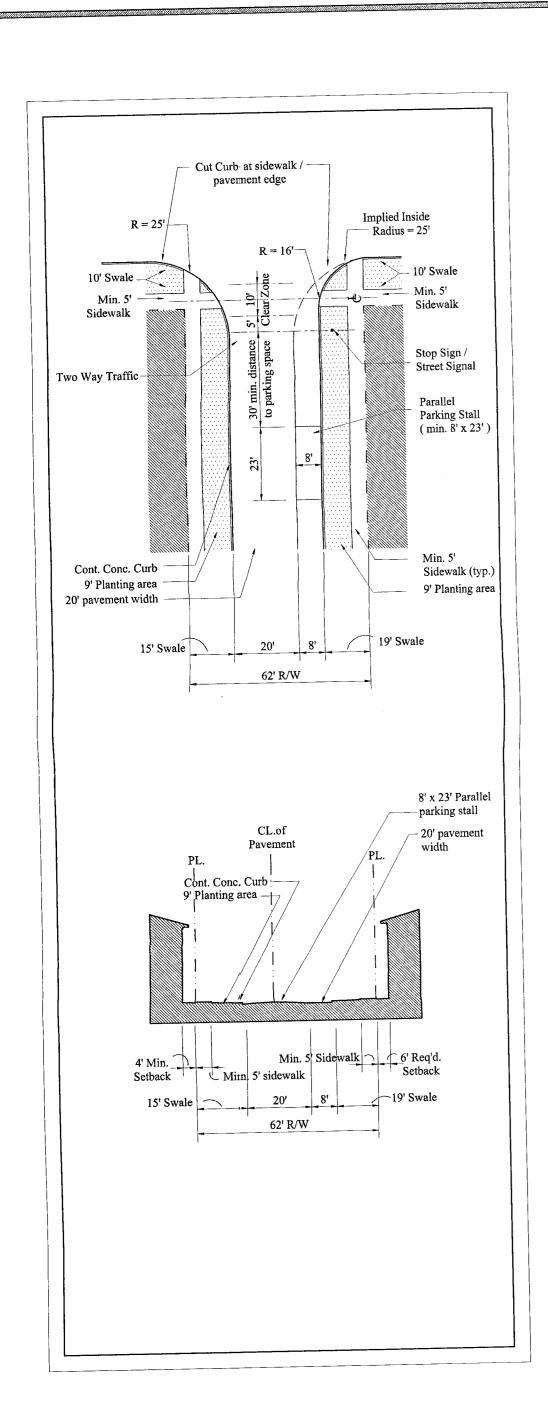
T = 62'

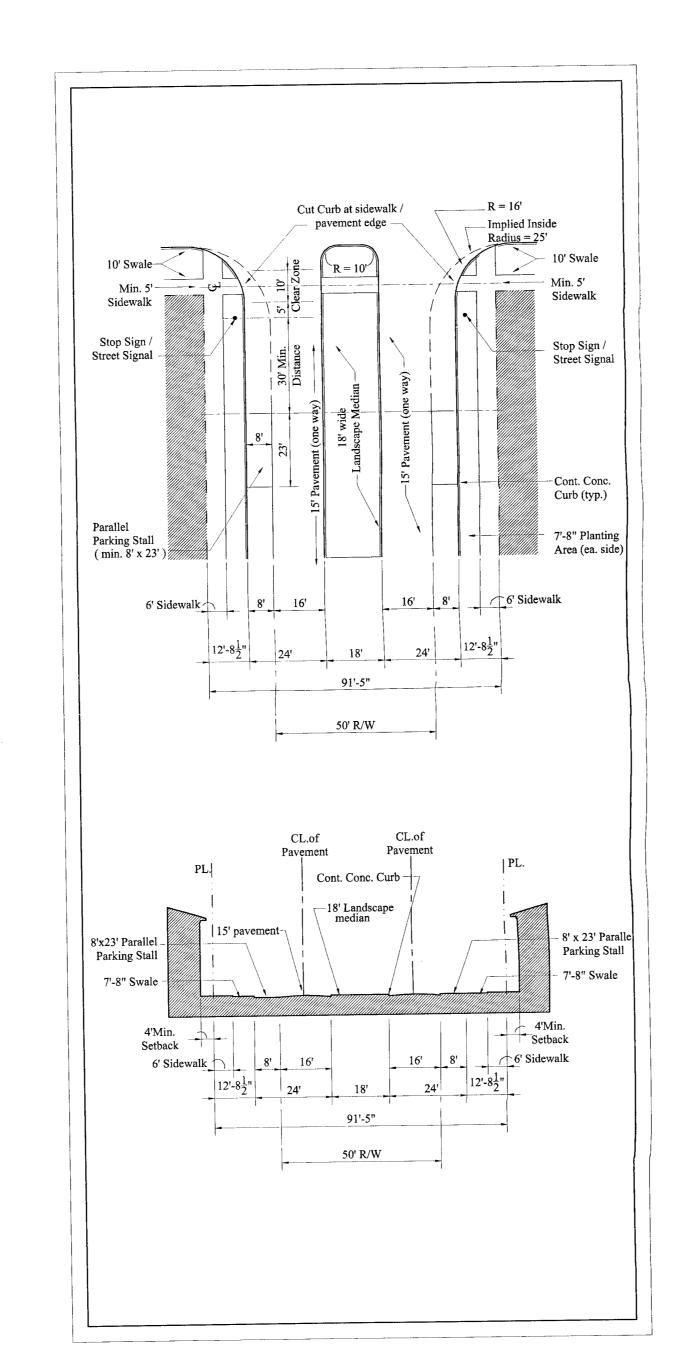
Minor Road w/ Parallel Parking T = 91'

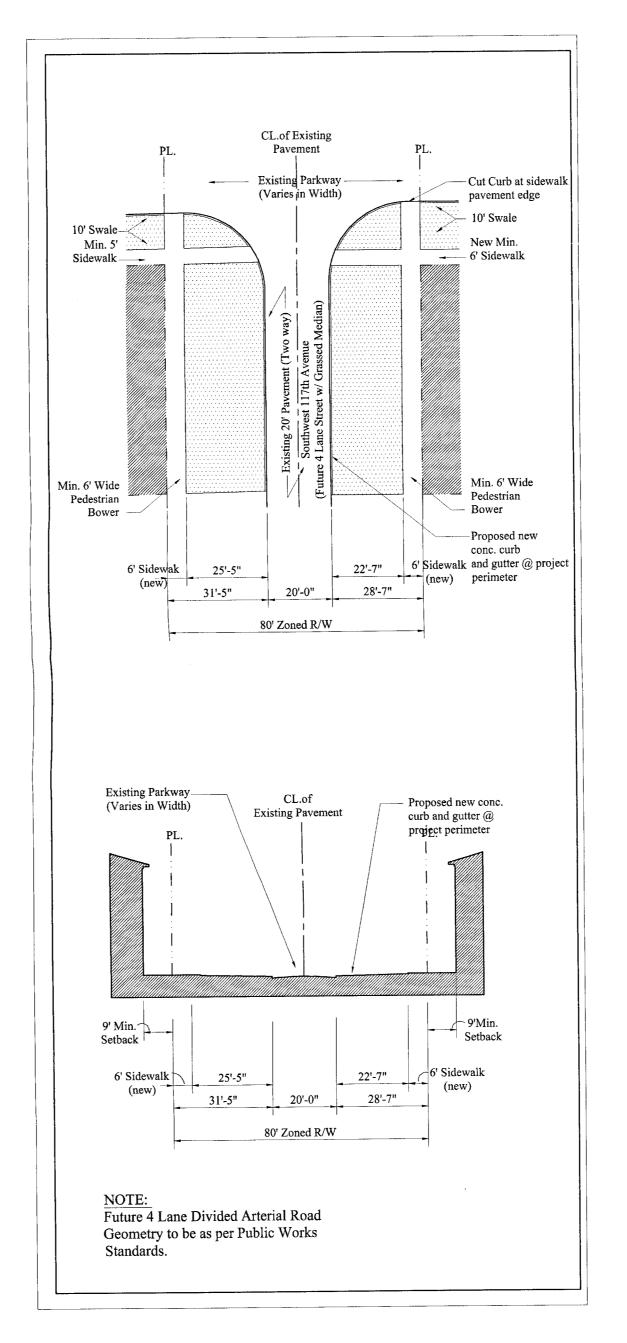
Boulevard

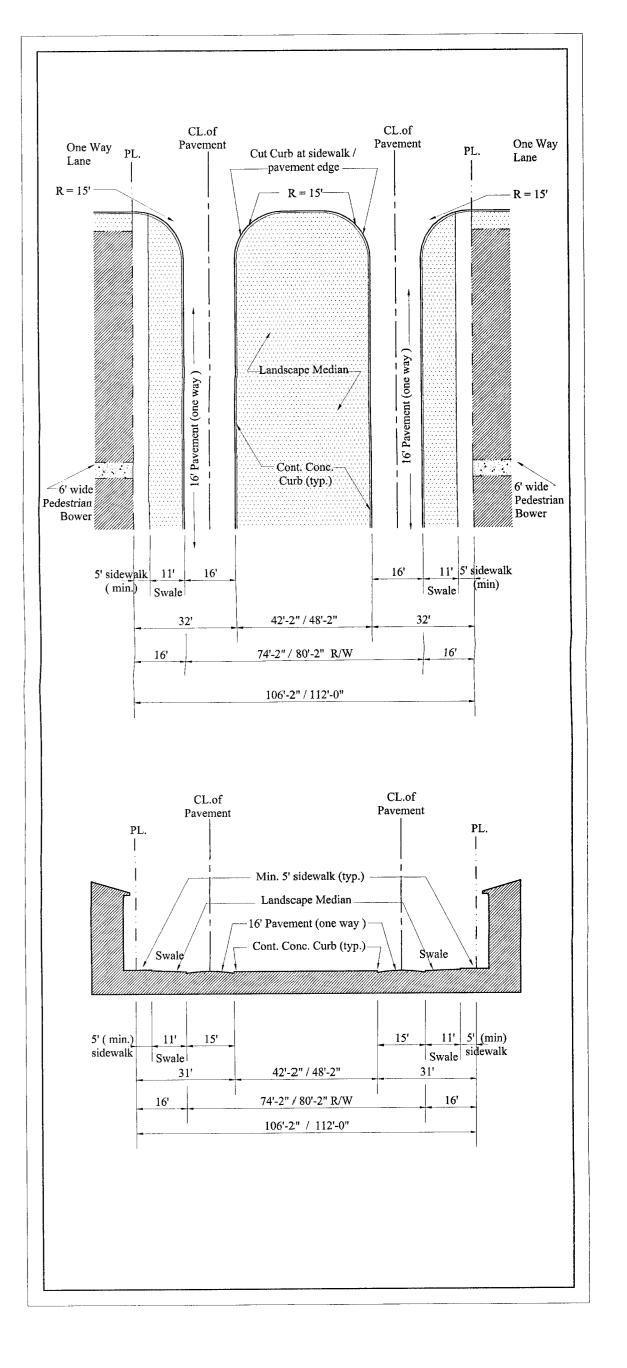
T = 80'
Zoned R.O.W.
(Existing Condition Shown)

T = 106' / 112'
Main Street









NOTE:
NO TRUCKS ALLOWED IN CARRIAGELANES
LEGEND

SUBJECT PROPERTY



01.333

JULY 15, 2002

SHEET 20 OF 21